



13

Planning Commission Staff Report

TO: PLANNING COMMISSION

FROM: JOSH ROGERS, PLANNER II *JR*
(480) 503-6589, JOSH.ROGERS@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *ajl*
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: AUGUST 7, 2019

SUBJECT: UP19-23 PHO SQUEEGEE: A CONDITIONAL USE PERMIT FOR APPROXIMATELY 5.9 ACRES LOCATED AT 6289 S. GREENFIELD ROAD TO PERMIT A WIRELESS COMMUNICATION FACILITY (60-FOOT-HIGH) IN THE SINGLE FAMILY - 7 (SF-7) AND NEIGHBORHOOD COMMERCIAL (NC) ZONING DISTRICTS.

STRATEGIC INITIATIVE: Prosperous Community

Increase wireless communication coverage to deficient areas of the Town.

RECOMMENDED MOTION

Make the Findings of Fact and approve UP19-23 PHO SQUEEGEE: A Conditional Use Permit for approximately 5.9 acres located at 6289 S. Greenfield Road to permit a Wireless Communication Facility (60-foot-high) in the Single Family - 7 (SF-7) and Neighborhood Commercial (NC) zoning districts.

APPLICANT

Company: Insite Inc./Verizon Wireless
Name: Christine Tucker
Address: 2035 E. Gondola Ln.
Gilbert, AZ 85234

OWNER

Company: Light of Christ Lutheran Church
Name: Moe Redding
Address: 6289 S. Greenfield Rd.
Gilbert, AZ 85234

Phone: 480-586-5180
 Email: tucker@insite-inc.com

Phone: 480-899-1400
 Email: pastormoe@loc-az.org

BACKGROUND/DISCUSSION

History

Date	Description
<i>February 6, 2001</i>	Town Council approved the annexation of 685 acres of Maricopa County land into the Town of Gilbert (Ord. No. 1320)
<i>February 6, 2001</i>	Town Council approved Z00-18 (Ord. No. 1321) rezoning 355 acres of Maricopa County Residential Unit Planned Development (RUPD) to Town of Gilbert R1-6, R1-7, R1-8, R1-10, R1-35 and General Commercial (C-2) for the proposed Freeman Farms Master Planned Community.
<i>September 11, 2014</i>	Design Review Board approved the Light of Christ Lutheran Church on approximately 6.5 acres located on the northeast corner of Greenfield and Chandler Heights Roads.
<i>July 17, 2019</i>	The Zoning Hearing Officer approved a deviation to reduce the required setback for a wireless tower from a parcel designated for residential use in the General Plan from 75-feet to 29-feet (V19-05).

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Residential > 2-3.5 DU/Acre	Single Family – 7 (SF-7)	Town of Gilbert Reservoir and Pump Station
South	Public Facility / Institutional (PF/I)	Public Facility / Institutional (PF/I)	Canal/Maricopa County Flood Control District
East	Public Facility / Institutional (PF/I)	Public Facility / Institutional (PF/I)/ U/TC	RWCD Canal/Maricopa County Flood Control District
West	Residential > 0-1 DU/Acre	Single Family – 43 (SF-43) and Maricopa County Rural 43	Greenfield Rd and then Maricopa County Residential Neighborhood
Site	Neighborhood Commercial (NC) and Residential > 2-3.5 DU/Acre	Neighborhood Commercial (NC) and Single Family – 7 (SF-7)	Light of Christ Lutheran Church

Project Data Table

Site Development Regulations	Required per LDC	Proposed
Maximum Height (ft.)	75'	60'

Minimum Setback, WCF Support Structure (ft.) (tower)		
Adjacent to Residential use in the General Plan	75' or 110% of the height of the structure if taller than 75'.	29' (as approved in V19-05)
Minimum Setback, Ground Equipment (ft.)		
Front (Street) - West	20'	102'
Side (Residential) - North	20'	20'
Side (Nonresidential) - East	15'	297'
Rear (Nonresidential) - South	15'	785'

DISCUSSION

The 6.5-acre subject site is located at 6289 S. Greenfield Rd at the northeast corner of Greenfield and Chandler Heights Roads. The parcel is currently in use by the Light of Christ Lutheran Church as a meeting house for religious services. The applicant proposes a new 60' tall stealth "mono-elm" wireless communication facility (WCF) situated at the northern edge of the property, adjacent to a Town water pump and reservoir station (Well Site No. 27). The pump and reservoir station are designated for residential use in the General Plan and require a 75' setback for the WCF mono-elm. The applicant was granted a variance for relief from the required 75-foot setback to 29-feet, as the adjacent use existing on the site is not residential and does not have the ability to become residential for the foreseeable future (V19-05).

Proposed WCF Equipment

The proposed WCF will consist of six (6) 8' close-mounted antennas and six (6) Remote Radio Heads (RRH) mounted 51' above ground level. The antennas will be mounted approximately 2'6" from the central support structure and in three sectors (2 antennas per sector) with faux elm branches to conceal the antennas and RRHs from view. There will be 2 ground cabinets located adjacent to the WCF that are completely screened from view by a decorative solid 8' split faced, CMU wall, colored to match the existing Church wall. There is a 12' wide access easement proposed, with a temporary parking space for use during periodic maintenance.

FINDINGS

The Planning Commission is required to make seven findings in order to approve a Conditional Use Permit. The findings are listed here, along with the reasons why staff considers that the findings are or are not met in this case. These findings are:

- 1. The proposed use will not be detrimental to health, safety, or general welfare of persons living or working in the vicinity, to adjacent property, to the neighborhood, or to the public in general.***

The site is zoned Single Family-7 (SF-7) and Neighborhood Commercial (NC) and is proposed to be placed on a site currently used by the Light of Christ Lutheran Church and is directly

adjacent to Town Well Site No. 27. The proposed WCF/monoelm will have minimal impact on persons living or working in the area. The WCF support structure would be more than 200 feet from the closest existing or future residential land to the west across Greenfield Road, over 700 feet to the east, and 340 feet to the north, excluding the well site. There are not any residentially designated land uses within a reasonable distance to the south.

The site will also not contribute to overall traffic conditions in the area as it will be unmanned and visited for periodic maintenance purposes only.

2. The proposed use conforms to the purposes, intent, and policies of the General Plan and its policies and any applicable area, neighborhood, or other plan adopted by the Town Council.

The request for a Use Permit to locate a mono-elm WCF facility meets the intent of the Town of Gilbert General Plan Chapter 2, Land Use and Growth Areas Element, providing for public and private infrastructure expansion. By allowing the installation of the WCF facility, service will be optimized and provide for the future needs of the area. The proposed 60' mono-elm WCF will be designed to allow for the co-location of other carriers.

3. The proposed use conforms to the conditions, requirements, or standards required by the Zoning Code and any other applicable local, State, or Federal requirements.

The proposal complies with Single Family-7 (SF-7) and WCF standards of the LDC. The mono-elm meets setback distance required by the LDC (and as permitted under the V19-05 approval) and height requirements, the WCF and associated equipment cabinet will be screened within the equipment enclosure. All other State and Federal requirements including radio wave transmission safety standards are met. All other applicable requirements have been met and will be confirmed with final plans submittal, review and approval.

4. The proposed use, as conditioned, would not unreasonably interfere with the use and enjoyment of nearby properties.

Access to the proposed WCF site is provided with a proposed access drive running from Greenfield Rd. The proposed monoelm WCF is unmanned and maintained by Verizon, requiring periodic visits by a technician to monitor and assure adequate operation of the facility. The concealed antenna array on the tower will not cause adverse impacts due to dust, smoke, noise, odor, or glare from the use. A photo simulation detail of the proposed WCF antenna array on the proposed tower has been provided.

The mono-elm/WCF facility will be operated and maintained by the cellular provider and qualified technicians will monitor and visit the site as required to assure adequate operation of the facility. The mono-elm and associated equipment are located within an 8' high CMU equipment enclosure. The mono-elm/WCF will not create an adverse impact from dust, smoke, noise, odor, or glare from the use. The proposed 60' mono-elm facility complies with the Town of Gilbert's LDC standards for setback, height, visual appearance and concealment as demonstrated by the provided materials, exhibits and details proposed by the applicant for the mono-elm.

Additional findings for WCF required by Section 4.705 of the LDC, as follows:

A. The proposed WCF conforms with the requirements of Article 4.7;

The application conforms to all requirements of Article 4.7 of the LDC with respect to height and setback requirements as well as screening and aesthetics.

B. The applicant has demonstrated the inability to co-locate the proposed WCF on an existing vertical element; and

The applicant has conducted an inventory of existing wireless communication facilities within a two-mile radius of the project site. There are three existing structures within the two-mile radius, but the applicant has noted an inability to co-locate on the existing poles due the following reasons:

- One site is too far north and would create another gap in service if located, requiring the placement of another tower;
- Another site is too far south for the RF Engineer and would be too close to an existing Verizon Tower;
- The last site is filled up with other carriers, and the RAD Center (Available Height for Antenna Placement) that Verizon's RF Engineer needs is taken.

C. The visibility of the WCF is reduced to the extent feasible by decreasing its height, increasing its setback, locating it in proximity to other structures, using antenna designs which minimize horizontal projections, constructing it with colors and materials that de-emphasize its visibility.

The mono-elm/WCF support structure would be more than 200 feet from the closest existing or future residential land to the west across Greenfield Road, over 700 feet to the east, and 340 feet to the north, excluding the well site. There are not any residentially designated land uses within a reasonable distance to the south.

Additionally, the 2 ground cabinets located adjacent to the mono-elm/WCF, are completely screened from view by a decorative solid 8' split faced, CMU wall, colored to match the existing Church wall. It is designed to be architecturally compatible with the existing building and fencing on the property and shall fully screen the equipment.

Pursuant to the above analysis, Staff is of the opinion that the project meets the seven findings required for granting the modified Conditional Use Permit.

PUBLIC NOTIFICATION AND INPUT

A notice of public hearing was published in a newspaper of general circulation in the Town, an official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code Article 5.205.

Staff has received one comment from the public. Staff spoke with a representative of the residential community to the north of the site. The neighborhood had general inquiries regarding the size, if it will be lighted (it will not), and other general questions.

PROPOSITION 207

An agreement to “Waive Claims for Diminution in Value” pursuant to A.R.S. § 12-1134 was signed by the landowners of the subject site, in conformance with Section 5.201 of the Town of Gilbert Land Development Code. This waiver is located in the case file.

STAFF RECOMMENDATION

Make the Findings of Fact and approve of UP19-23 PHO SQUEEGEE: A Conditional Use Permit for approximately 5.9 acres located at the Light of Christ Lutheran Church at 6289 S. Greenfield Road to permit a Wireless Communication Facility (60-foot-high) in the Single Family - 7 (SF-7) and Neighborhood Commercial (NC) zoning district, subject to conditions:

1. The Project shall be in substantial conformance with the site plan and elevations/details shown on the Exhibits provided under Attachment No. 4, as well as the approved DR14-19 landscape plan.
2. The Project shall be in substantial conformance with the approval and conditions set forth in V19-05.

Respectfully submitted,



Josh Rogers
Planner II

Attachments and Enclosures:

- 1) Findings of Fact
- 2) Notice of Public Hearing
- 3) Aerial Photo
- 4) Proposed Site Plan and Elevations
- 5) Approved Site Plan for the Site (Church Design Review)
- 6) Residential Proximity Exhibit
- 7) WCF Photo simulations

**FINDINGS OF FACT
UP19-23, PHO SQUEEGEE**

1. The proposed use will not be detrimental to health, safety, or general welfare of persons living or working in the vicinity, to adjacent property, to the neighborhood, or to the public in general;
2. The proposed use conforms with the purposes, intent, and policies of the General Plan and its policies and any applicable area, neighborhood, or other plan adopted by the Town Council;
3. The proposed use conforms with the conditions, requirements, or standards required by the Zoning Code and any other applicable local, State, or Federal requirements; and
4. The proposed use, as conditioned, would not unreasonably interfere with the use and enjoyment of nearby properties.

And the additional findings for WCF required by Section 4.705 of the LDC, as follows:

- A. The proposed WCF conforms with the requirements of Article 4.7;
- B. The applicant has demonstrated the inability to co-locate the proposed WCF on an existing vertical element; and
- C. The visibility of the WCF is reduced to the extent feasible by decreasing its height, increasing its setback, locating it in proximity to other structures, using antenna designs which minimize horizontal projections, constructing it with colors and materials that de-emphasize its visibility.

Notice of Public Hearing

PLANNING COMMISSION DATE:

Wednesday, August 7, 2019* TIME: 6:00 PM

**LOCATION: Gilbert Municipal Center
Council Chambers
50 E. Civic Center Drive**

*** Call Planning Division to verify date and time:
(480) 503-6589**

* The application is available for public review at the Town of Gilbert Development Services Department Monday - Thursday 7 a.m. - 6 p.m. Staff reports are available prior to the meeting at <https://www.gilbertaz.gov/departments/clerk-s-office/boards-commissions/current-boards/planning-commission>

REQUESTED ACTION:

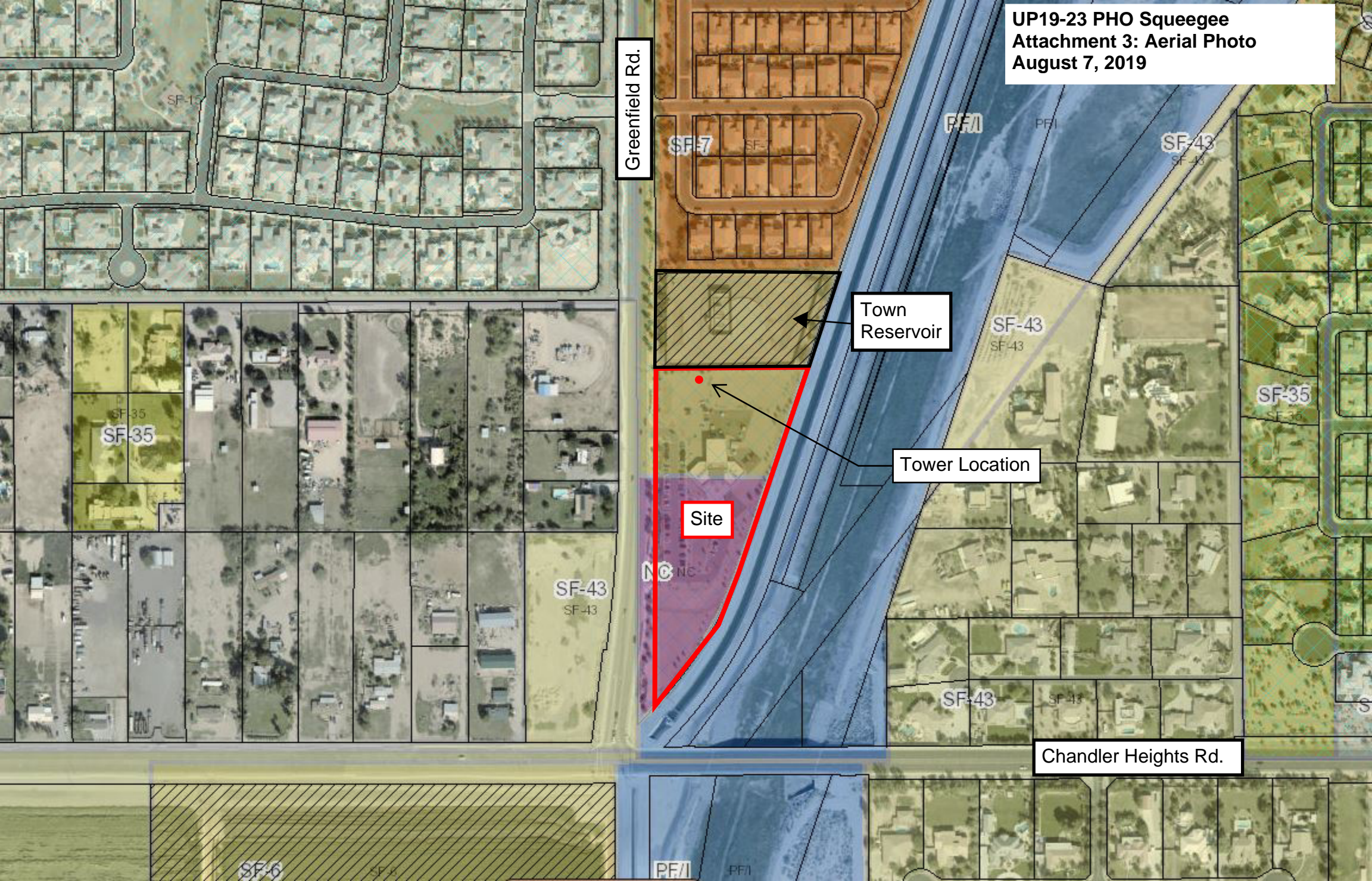
UP19-23 PHO SQUEEGEE: Request to approve a Conditional Use Permit for approximately 5.9 acres located at the Light of Christ Lutheran Church at 6289 S. Greenfield Road to permit a Wireless Communication Facility (60 foot high) in the Single Family - 7 (SF-7) and Neighborhood Commercial (NC) zoning district.

SITE LOCATION:



APPLICANT: Insite Inc. on Behalf of Verizon
CONTACT: Christine Tucker
ADDRESS: 2035 E. Gondola Ln.
Gilbert, AZ 85234

TELEPHONE: (480) 586-5180
E-MAIL: Tucker@insite-inc.com



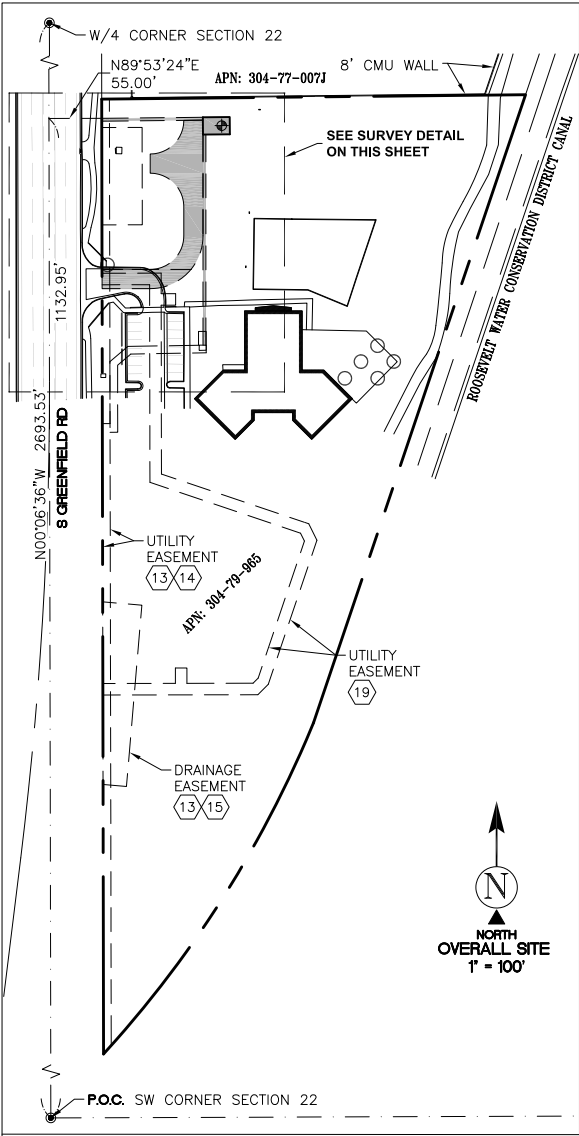
Greenfield Rd.

Town
Reservoir

Tower Location

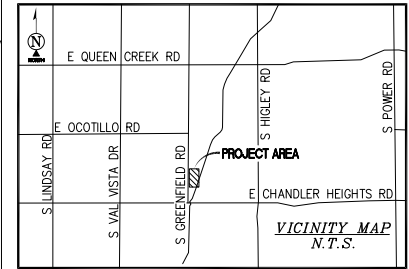
Site

Chandler Heights Rd.



LEGEND

AP	ASPHALT	STREET LIGHT
BLDG	TOP OF BUILDING	AS NOTED
CMU	CONCRETE MASONRY UNIT	UTILITY MANHOLES
CONC	EDGE OF CONCRETE	UTILITY METER
D/W	ACCESS DRIVEWAY	FIRE HYDRANT
EDR	EDGE OF DIRT ROAD	UTILITY POLE
EP	EDGE OF PAVEMENT	ELECTRICAL TRANSFORMER
FC	FACE OF CURB	UTILITY PEDESTAL
LP	LIGHT POLE	UTILITY VAULT
NG	NATURAL GRADE	POSITION OF GEODETIC COORDINATES
R/W	RIGHT OF WAY	SPOT ELEVATION
SL	STREET LIGHT	WATER CONTROL VALVE
SW	SIDEWALK	SEWER CLEANOUT
WALL	TOP OF WALL	CMU WALLS
TREES	TREES	WROUGHT IRON FENCE
		CURBLINES
		CONCRETE LIMITS
		EXISTING BUILDINGS
		PARKING STRIPES
		SEWER LINES
		SECTION LINES
		STREET CENTERLINES
		RIGHT OF WAY LINES
		SUBJECT PROPERTY LINE
		ADJACENT PROPERTY LINE
		EASEMENT LINES
		SETBACK LINES
		TIE LINES
		LEASE AREA LIMITS
		MAJOR CONTOUR INTERVAL
		MINOR CONTOUR INTERVAL
		COMMUNICATIONS
		ELECTRICAL



SURVEY DATE
05/28/2018

BASIS OF BEARING
BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM ARIZONA STATE PLANE COORDINATE CENTRAL ZONE, DETERMINED BY GPS OBSERVATIONS.

BENCHMARK
PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS 'GEOID 12B' MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE 'AZHMP' REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.

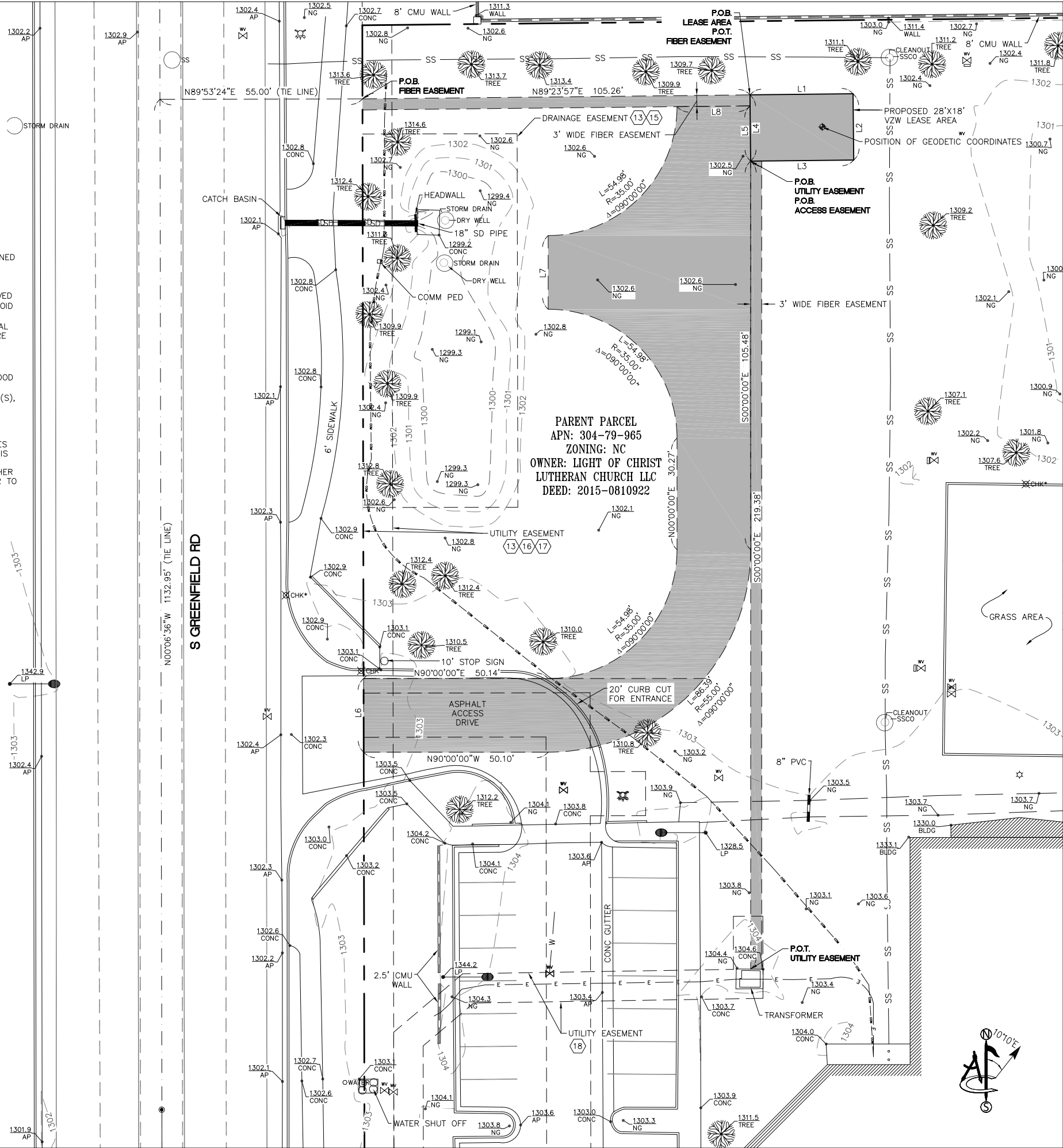
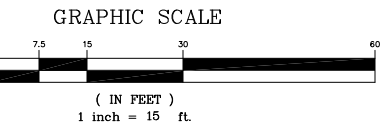
FLOOD ZONE
THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X". ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #04013C3150L, DATED 10/16/2013

UTILITY NOTES
SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

GRID-TO-GROUND SCALE FACTOR NOTE
ALL BEARINGS AND DISTANCES ARE BASED ON THE ARIZONA CENTRAL STATE PLANE COORDINATE ZONE GRID. TO DERIVE GROUND DISTANCES DIVIDE BY 0.99984575

POSITION OF GEODETIC COORDINATES
LATITUDE 33°14'12.87"(33.236908°) NORTH (NAD83)
LONGITUDE 111°44'15.04"(111.737511°) WEST (NAD83)
GROUND ELEVATION @ 1302.5' (NAVD88)

LINE TABLE		
LINE#	LENGTH	DIRECTION
L1	28.00'	N89°23'57"E
L2	18.00'	S00°36'03"E
L3	28.00'	S89°23'57"W
L4	18.00'	N00°36'03"W
L5	15.00'	S00°36'03"E
L6	20.00'	N00°06'36"W
L7	20.00'	N00°00'00"E
L8	19.84'	N89°23'57"E



CLIENT:

verizon

126 WEST GEMINI DRIVE
TEMPE, ARIZONA 85283
PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL:

SiinoDesign

16616 EAST PAUSADES BLVD, SUITE 102
FOUNTAIN HILLS, ARIZONA 85268
PHONE: (480) 836-1701
FAX: (480) 836-1004
www.sdlic.bz

SURVEYING CONSULTANT:

ambit consulting

410 E. SOUTHERN AVE. TEMPE, AZ 85282
PH. (480) 659-4072

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: JM

CHECKED BY: MF

SCHEDULE OF REVISIONS

NO	DATE	DESCRIPTION	BY
3	11/02/18	ADDED LOCATE (C)	MW
2	06/18/18	TITLE/LEGALS (C)	CK
1	06/08/18	UPDATE (C)	NS
4	11/30/18	REVISED LEASE (C)	DH

SITE NAME:

PHO SQUEEGEE

SITE ADDRESS:
6289 S GREENFIELD RD
GILBERT, AZ 85234

SEAL:

PRELIMINARY

SHEET TITLE:

SITE SURVEY

SHEET NUMBER:

LS-1

SCHEDULE "B" NOTE

REFERENCE IS MADE TO THE TITLE REPORT ORDER #AZ-FWPY-IMP-N/A-1-18-C1804714, ISSUED BY CHICAGO TITLE INSURANCE COMPANY, DATED JUNE 12, 2018. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED. NOTE: SCHEDULE B ITEMS 1, 2, 20 AND 21 ARE NOT SURVEY MATTERS AND HAVE NOT BEEN PLOTTED

ITEMIZED NOTES:

3. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: ROADWAYS, LATERALS AND DITCHES RECORDING DATE: NOVEMBER 16, 1925 RECORDING NO: BOOK 198 OF DEEDS, PAGE 59 (DOES NOT AFFECT PARENT PARCEL)

4. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: A LINE OF POLES WITH WIRES SUSPENDED THEREON RECORDING DATE: APRIL 30, 1962 RECORDING NO: DOCKET 4124, PAGE 91 (DOES NOT AFFECT PARENT PARCEL)

5. ANY ACTION THAT MAY BE TAKEN BY THE FLOOD CONTROL DISTRICT OF MARICOPA COUNTY TO ACQUIRE PROPERTY OR RIGHTS OF WAY FOR FLOOD CONTROL, AS DISCLOSED BY DOCUMENT RECORDED AT RECORDING NO: DOCKET 14400, PAGE 226 (BLANKET IN NATURE)

6. ANY ACTION THAT MAY BE TAKEN BY THE FLOOD CONTROL DISTRICT OF MARICOPA COUNTY TO ACQUIRE PROPERTY OR RIGHTS OF WAY FOR FLOOD CONTROL, AS DISCLOSED BY DOCUMENT RECORDED AT RECORDING NO. 98-0705567. (BLANKET IN NATURE)

7. ANY ACTION THAT MAY BE TAKEN BY THE FLOOD CONTROL DISTRICT OF MARICOPA COUNTY TO ACQUIRE PROPERTY OR RIGHTS OF WAY FOR FLOOD CONTROL, AS DISCLOSED BY DOCUMENT RECORDED AT RECORDING NO. 98-0705569. (BLANKET IN NATURE)

8. ANY ACTION THAT MAY BE TAKEN BY THE FLOOD CONTROL DISTRICT OF MARICOPA COUNTY TO ACQUIRE PROPERTY OR RIGHTS OF WAY FOR FLOOD CONTROL, AS DISCLOSED BY DOCUMENT RECORDED AT RECORDING NO. 2003-0373528. (BLANKET IN NATURE)

9. MEMORANDUM OF AGREEMENT ACCORDING TO THE TERMS AND CONDITIONS CONTAINED THEREIN RECORDING DATE: JANUARY 12, 2015 RECORDING NO.: 20050044114 (BLANKET IN NATURE)

10. MATTERS SHOWN ON RECORD OF SURVEY: RECORDING NO.: BOOK 816 OF MAPS, PAGE 6 (SHOWN AS PARENT PARCEL)

11. RESOLUTION NO. 2963 IN FAVOR OF THE TOWN OF GILBERT FOR: LAND ACQUISITION RECORDING DATE: DECEMBER 28, 2009 RECORDING NO: 20091183207 (NOTHING TO PLOT)

12. ANY ACTION THAT MAY BE TAKEN BY THE FLOOD CONTROL DISTRICT OF MARICOPA COUNTY TO ACQUIRE PROPERTY OR RIGHTS OF WAY FOR FLOOD CONTROL, AS DISCLOSED BY DOCUMENT RECORDED AT RECORDING NO. 20100922740. (BLANKET IN NATURE)

13. AGREEMENT FOR TEMPORARY RIGHT OF ENTRY ACCORDING TO THE TERMS AND CONDITIONS CONTAINED THEREIN RECORDING DATE: DECEMBER 9, 2010 RECORDING NO.: 2010-1075552 RE-RECORDING DATE: DECEMBER 20, 2010 RE-RECORDING NO: 2010-1104803 (AS SHOWN ON SURVEY)

14. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: PUBLIC UTILITIES RECORDING DATE: JULY 20, 2011 RECORDING NO: 20110598272 AND RECORDING DATE: NOVEMBER 23, 2011 RECORDING NO: 20110973849 (AS SHOWN ON SURVEY)

15. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: DRAINAGE AND RETENTION BASIN RECORDING DATE: JULY 20, 2011 RECORDING NO: 20110598273 AND RECORDING DATE: NOVEMBER 23, 2011 RECORDING NO: 20110973848 (AS SHOWN ON SURVEY)

16. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: UNDERGROUND ELECTRICAL RECORDING DATE: JULY 20, 2011 RECORDING NO: 20110598274 (AS SHOWN ON SURVEY)

17. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: UNDERGROUND ELECTRICAL RECORDING DATE: NOVEMBER 23, 2011 RECORDING NO: 20110973847 (AS SHOWN ON SURVEY)

18. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: TRANSMISSION AND DISTRIBUTION OF ELECTRICITY RECORDING DATE: SEPTEMBER 15, 2015 RECORDING NO: 20150666477 (AS SHOWN ON SURVEY)

19. EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE PLAT RECORDED IN BOOK 1249 OF MAPS, PAGE 28. (AS SHOWN ON SURVEY)

LESSOR'S LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

LOT 1, LIGHT OF CHRIST LUTHERAN CHURCH, ACCORDING TO BOOK 1249 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA.

SAID PROPERTY IS ALSO KNOWN AS:

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, LYING WEST OF THE ROOSEVELT WATER CONSERVATION DISTRICT CANAL AS CONVEYED IN BOOK 189 OF DEEDS, PAGE 360, RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22;

THENCE NORTH 00 DEGREES 01 MINUTES 19 SECONDS WEST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 1152.48 FEET; THENCE NORTH 89 DEGREES 29 MINUTES 14 SECONDS EAST, 55.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 89 DEGREES 29 MINUTES 14 SECONDS EAST, 441.45 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE ROOSEVELT WATER CONSERVATION DISTRICT CANAL (RWCD); THENCE SOUTH 18 DEGREES 44 MINUTES 30 SECONDS WEST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 690.62 FEET TO A POINT ON A 1176.67 FOOT RADIUS NON-TANGENT CURVE, CONCAVE TO THE NORTHWEST, A RADIAL FROM SAID POINT BEARS NORTH 67 DEGREES 31 MINUTES 54 SECONDS WEST; THENCE SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 19 DEGREES 58 MINUTES 59 SECONDS, AN ARC LENGTH OF 410.40 FEET TO A POINT THAT IS 55.00 FEET EAST OF THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22; THENCE LEAVING SAID RWCD RIGHT-OF-WAY AND CONTINUING ON A LINE THAT IS PARALLEL TO AND 55.00 FEET EAST OF THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, NORTH 00 DEGREES 01 MINUTES 19 SECONDS WEST, 994.58 FEET TO THE POINT OF BEGINNING.

LEASE AREA LEGAL DESCRIPTION

A PORTION OF LOT 1, LIGHT OF CHRIST LUTHERAN CHURCH, ACCORDING TO BOOK 1249 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22, FROM WHICH THE WEST QUARTER CORNER OF SAID SECTION BEARS NORTH 00°06'36" WEST, 2693.53 FEET;

THENCE FROM SAID POINT OF COMMENCEMENT NORTH 00°06'36" WEST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION, 1132.95 FEET; THENCE DEPARTING SAID SECTION LINE NORTH 89°53'24" EAST, 55.00 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY OF GREENFIELD ROAD; THENCE DEPARTING SAID RIGHT OF WAY, NORTH 89°23'57" EAST, 105.26 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 89°23'57" EAST, 28.00 FEET; THENCE SOUTH 00°36'03" EAST, 18.00 FEET; THENCE SOUTH 89°23'57" WEST, 28.00 FEET; THENCE NORTH 00°36'03" WEST, 18.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 504 SQUARE FEET (0.01 ACRES) OF LAND, MORE OR LESS.

FIBER EASEMENT LEGAL DESCRIPTION

A PORTION OF LOT 1, LIGHT OF CHRIST LUTHERAN CHURCH, ACCORDING TO BOOK 1249 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING A STRIP OF LAND 3.00 FEET WIDE LYING CONTIGUOUS TO AND 3.00 FEET SOUTH OF THE FOLLOWING DESCRIBED SIDE LINE:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22, FROM WHICH THE WEST QUARTER CORNER OF SAID SECTION BEARS NORTH 00°06'36" WEST, 2693.53 FEET;

THENCE FROM SAID POINT OF COMMENCEMENT NORTH 00°06'36" WEST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION, 1132.95 FEET; THENCE DEPARTING SAID SECTION LINE NORTH 89° 53'24" EAST, 55.00 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY OF GREENFIELD ROAD AND THE POINT OF BEGINNING;

THENCE DEPARTING SAID RIGHT OF WAY, NORTH 89°23'57" EAST, 105.26 FEET TO THE POINT OF TERMINUS.

ACCESS EASEMENT LEGAL DESCRIPTION

A PORTION OF LOT 1, LIGHT OF CHRIST LUTHERAN CHURCH, ACCORDING TO BOOK 1249 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22, FROM WHICH THE WEST QUARTER CORNER OF SAID SECTION BEARS NORTH 00°06'36" WEST, 2693.53 FEET;

THENCE FROM SAID POINT OF COMMENCEMENT NORTH 00°06'36" WEST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION, 1132.95 FEET; THENCE DEPARTING SAID SECTION LINE NORTH 89°53'24" EAST, 55.00 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY OF GREENFIELD ROAD; THENCE DEPARTING SAID RIGHT OF WAY, NORTH 89°23'57" EAST, 105.26 FEET; THENCE SOUTH 00°06'03" EAST, 18.00 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 00°00'00" EAST, 105.48 FEET TO THE BEGINNING OF A 55.00 RADIUS CURVE, CONCAVE NORTHWESTERLY; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC DISTANCE OF 86.39 FEET; THENCE NORTH 90°00'00" WEST, 50.10 FEET TO THE EAST RIGHT OF WAY LINE OF SOUTH GREENFIELD ROAD; THENCE ALONG SAID RIGHT OF WAY, NORTH 00°06'36" WEST, 20.00 FEET; THENCE DEPARTING SAID RIGHT OF WAY, NORTH 90°00'00" EAST, 50.14 FEET TO BEGINNING OF A 35.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC DISTANCE OF 54.98 FEET; THENCE NORTH 00°00'00" EAST, 30.27 FEET TO THE BEGINNING OF A 35.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY; THENCE NORTHWESTERLY ALONG THE THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC DISTANCE OF 54.98 FEET; THENCE NORTH 00°00'00" EAST, 20.00 FEET TO THE BEGINNING OF A NON-TANGENT 35.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY, THE RADIUS POINT OF WHICH BEARS NORTH 00°00'00" EAST; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC DISTANCE OF 54.98 FEET; THENCE NORTH 89°23'57" EAST, 19.84 FEET; THENCE SOUTH 00°36'03" EAST, 15.00 FEET TO THE POINT OF BEGINNING.

UTILITY EASEMENT LEGAL DESCRIPTION

A PORTION OF LOT 1, LIGHT OF CHRIST LUTHERAN CHURCH, ACCORDING TO BOOK 1249 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING A STRIP OF LAND 3.00 FEET LYING CONTIGUOUS TO AND 3.00 FEET EAST OF THE FOLLOWING DESCRIBED SIDELINE:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22, FROM WHICH THE WEST QUARTER CORNER OF SAID SECTION BEARS NORTH 00°06'36" WEST, 2693.53 FEET;

THENCE FROM SAID POINT OF COMMENCEMENT NORTH 00°06'36" WEST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION, 1132.95 FEET; THENCE DEPARTING SAID SECTION LINE NORTH 89°53'24" EAST, 55.00 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY OF GREENFIELD ROAD; THENCE DEPARTING SAID RIGHT OF WAY, NORTH 89°23'57" EAST, 105.26 FEET; THENCE SOUTH 00°36'03" EAST, 18.00 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 00°00'00" EAST, 219.38 FEET THE POINT OF TERMINUS.

SURVEYOR'S NOTES

SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED.

THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

ALL DISTANCES SHOWN HEREON ARE GRID DISTANCES.

CLIENT:



126 WEST GEMINI DRIVE
TEMPE, ARIZONA 85283
PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL:



16616 EAST PAUSADES BLVD, SUITE 102
FOUNTAIN HILLS, ARIZONA 85268
PHONE: (480) 836-1701
FAX: (480) 836-1004
www.sdllc.bz

SURVEYING CONSULTANT:



ambit consulting
410 E. SOUTHERN AVE. TEMPE, AZ 85282
PH. (480) 659-4072

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: JM

CHECKED BY: MF

SCHEDULE OF REVISIONS

NO	DATE	DESCRIPTION	BY
3	11/02/18	ADDED LOCATE (C)	MW
2	06/18/18	TITLE/LEGALS (C)	CK
1	06/08/18	UPDATE (C)	NS
4	11/30/18	REVISED LEASE (C)	DH

SITE NAME:

PHO SQUEEGEE

SITE ADDRESS:

6289 S GREENFIELD RD
GILBERT, AZ 85234

SEAL:

PRELIMINARY

SHEET TITLE:

NOTES

SHEET NUMBER:

LS-2

OVERALL SITE PLAN KEYED NOTES: #

- EXISTING ENCLOSURE
- EXISTING CMU WALL ENCLOSURE
- EXISTING PARKING LOT
- EXISTING VACANT LAND

ZONING: RU-43

ZONING: RU-43

ZONING: RU-43

ZONING: SF-43

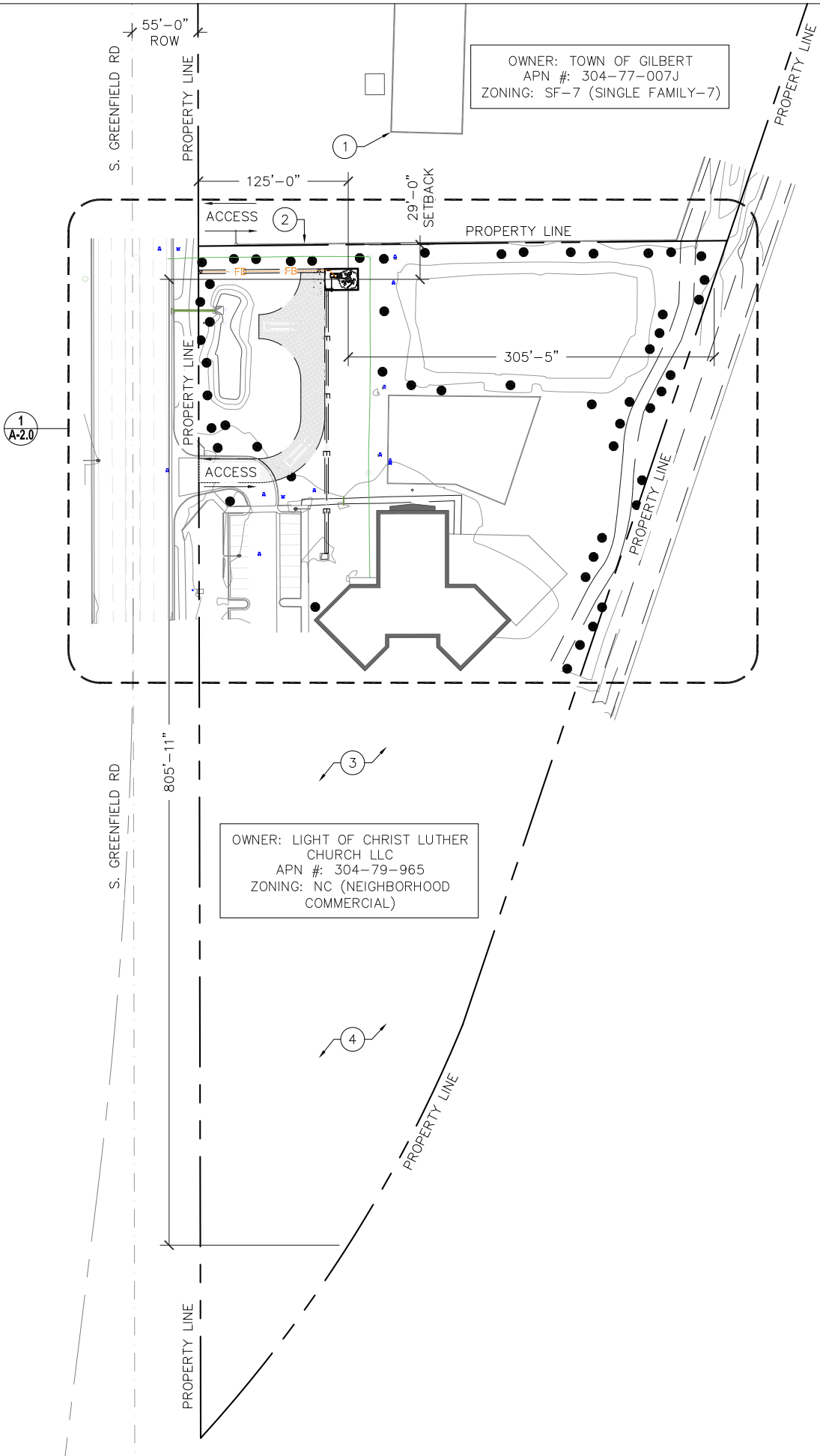
Two working days before you dig,
CALL FOR THE BLUE STAKE!

1 (602) 263-1100 or
1 (800) STAKE-IT (782-5348)
(OUTSIDE MARICOPA COUNTY)

LEGEND

- | | | | |
|------|-------------------------|--|----------------------------------|
| BLDG | TOP OF BUILDING | | STREET LIGHT |
| CLF | CHAIN LINK FENCE | | FIRE HYDRANT |
| CONC | CONCRETE | | POWER POLE |
| D/W | ACCESS DRIVEWAY | | POSITION OF GEODETIC COORDINATES |
| FC | FACE OF CURB | | SPOT ELEVATION |
| NG | NATURAL GRADE | | WATER CONTROL VALVE |
| R/W | RIGHT OF WAY | | GROUND ROD |
| | TREES | | GROUND BUS BAR |
| | NEW ANTENNA | | MECHANICAL GRND. CONN. |
| | EXISTING ANTENNA | | CADWELD |
| | REVISION | | GROUND ACCESS WELL |
| | CONSTRUCTION KEYED NOTE | | ELECTRIC BOX |
| | DETAIL REFERENCE | | TELEPHONE BOX |
| | ELEVATION REFERENCE | | LIGHT POLE |
| | SECTION REFERENCE | | GRAVEL |
| | GROUT OR PLASTER | | PLYWOOD |
| | (E) BRICK | | SAND |
| | (E) MASONRY | | WOOD CONT. |
| | CONCRETE | | WOOD BLOCKING |
| | EARTH | | STEEL |
| | CHAIN LINK FENCE | | |
| | CURBLINES | | |
| | WATER LINES | | |
| | GAS LINES | | |
| | OVERHEAD LINES | | |
| | ELECTRIC LINES | | |
| | (E) FIBER OPTIC LINES | | |
| | (N) FIBER OPTIC LINE | | |
| | STREET CENTERLINES | | |
| | RIGHT OF WAY LINES | | |
| | LEASE AREA LIMITS | | |
| | MAJOR CONTOUR INTERVAL | | |
| | MINOR CONTOUR INTERVAL | | |

OVERALL SITE PLAN



OWNER: MARICOPA COUNTY FLOOD
CONTROL DISTRICT
ZONING: PF-1 (PUBLIC
FACILITY/INSTITUTIONAL)

OWNER: LIGHT OF CHRIST LUTHER
CHURCH LLC
APN #: 304-79-965
ZONING: NC (NEIGHBORHOOD
COMMERCIAL)

OWNER: TOWN OF GILBERT
APN #: 304-77-007J
ZONING: SF-7 (SINGLE FAMILY-7)



22"x34" SCALE: 1" = 60'-0"
11"x17" SCALE: 1" = 120'-0"



1

CLIENT:

verizon

126 WEST GEMINI DRIVE
TEMPE, ARIZONA 85293
PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL:

SD SiinoDesign

16747 EAST PARKVIEW AVE. SUITE #1
FOUNTAIN HILLS, ARIZONA 85268
PHONE: 480.268.9000
FAX: 480.284.5051
WWW.SINODESIGN.COM

ENGINEERING CONSULTANT SEAL:

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: JASON NGO, R56

CHECKED BY: CMS

SCHEDULE OF REVISIONS

NO	DATE	DESCRIPTION	BY
3	07/01/19	CITY COMMENTS	CMS
2	04/15/19	ZONING SUBMITTAL	CMS
1	11/28/18	RE-DESIGN	CMS
0	06/07/18	PRELIM. ZDs	CMS

SITE NAME:

PHO_SQUEEGEE

SITE ADDRESS:
6289 S. GREENFIELD RD.
GILBERT, AZ 85234
MARICOPA COUNTY

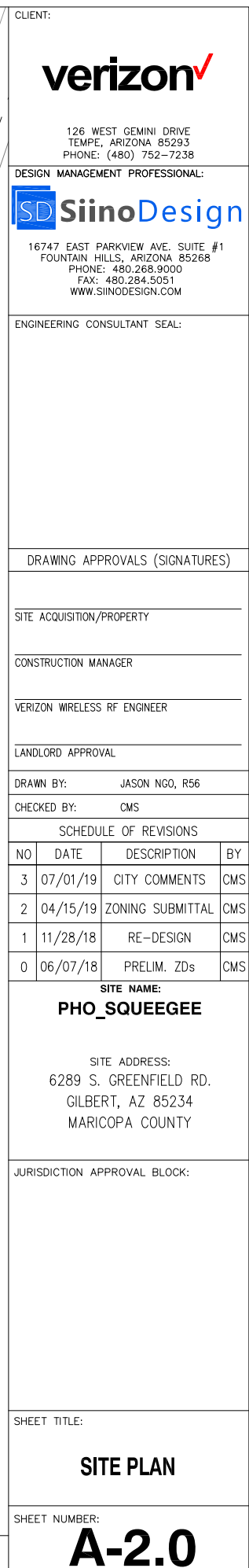
JURISDICTION APPROVAL BLOCK:

SHEET TITLE:

**OVERALL
SITE PLAN**

SHEET NUMBER:

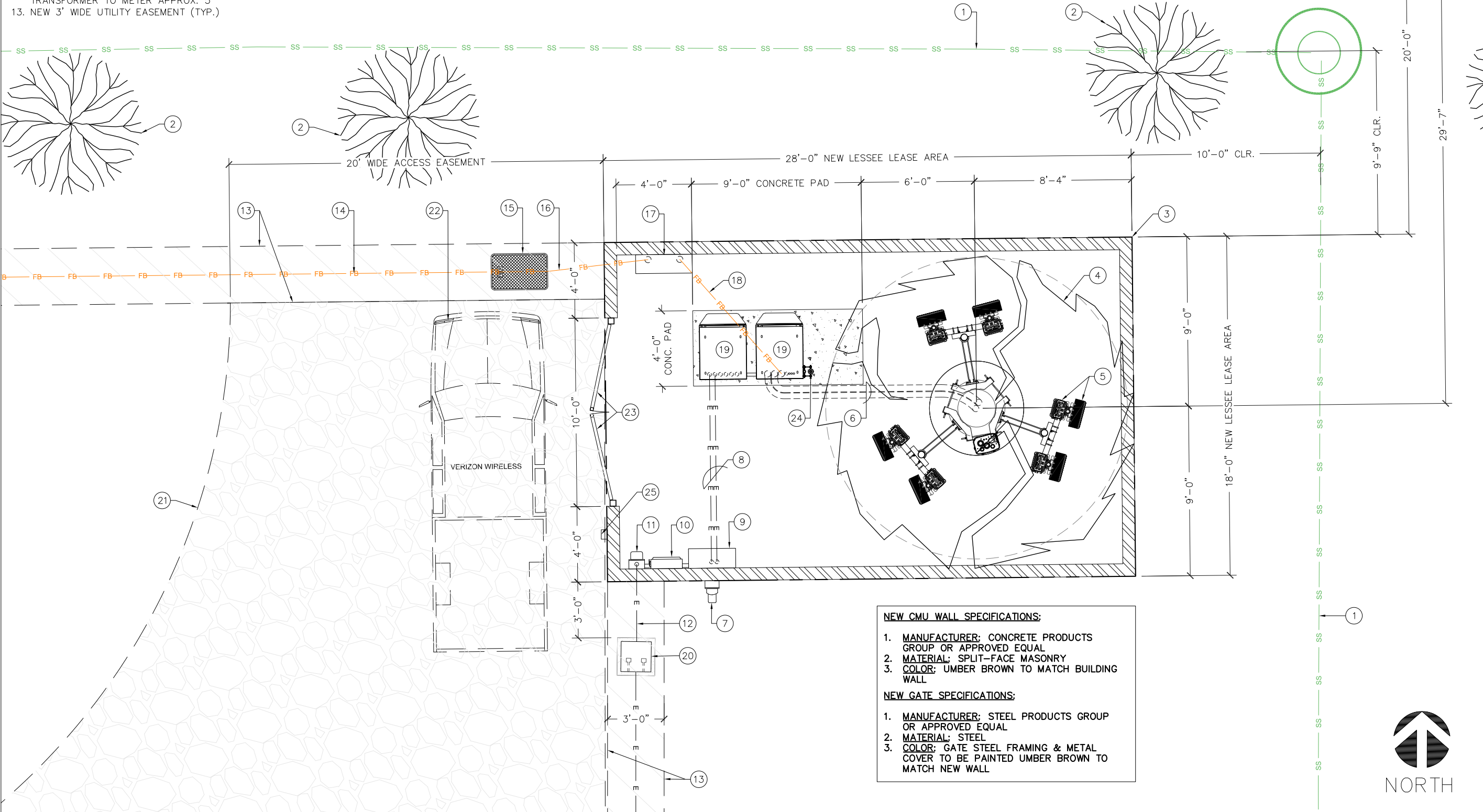
A-1



ENLARGED SITE PLAN KEYED NOTES: (#)

- EXISTING U.G. DRAINAGE LINE PER UTILITY LOCATE MARKING
- EXISTING TREE (TYP.)
- NEW 8' TALL SPLIT FACE CMU WALL ENCLOSURE TO MATCH EXISTING CHURCH WALL, SEE WALL COLOR SPECS.
- NEW 60' TALL MONOELM (OVERALL HEIGHT)
- NEW (6) ANTENNAS, (6) RRUs, (12) DIPLEXERS, (1) J-BOX SEE ENLARGED CONFIGURATION SHEET A-3
- NEW (2) 4"Ø U.G. CONDUITS FOR HYBRID RUNS FROM MONOELM TO CABINET
- NEW GENERATOR PLUG
- NEW 2"Ø U.G. CONDUIT FOR POWER RUN FROM ILC TO CABINET
- NEW 120/240V 1Ø 200A ILC 3R MOUNTED ON CMU WALL
- NEW 120/240V 1Ø 200A 3R DISCONNECT SWITCH MOUNTED ON CMU WALL
- NEW 120/240V 1Ø 200A 3R METER MOUNTED ON CMU WALL
- NEW 2.5"Ø U.G. CONDUIT FOR POWER RUN FROM NEW STEP-DOWN TRANSFORMER TO METER APPROX. 5'
- NEW 3' WIDE UTILITY EASEMENT (TYP.)

- NEW 4"Ø U.G. CONDUIT FOR FIBER RUN FROM MEET POINT VAULT TO SITE VAULT APPROX. 110'
- NEW FIBER SITE VAULT
- NEW 4"Ø U.G. CONDUIT FOR FIBER RUN FROM SITE VAULT TO FIBER J-BOX
- NEW NEMA 4 FIBER J-BOX MOUNTED ON CMU WALL
- NEW 2"Ø U.G. CONDUIT FOR FIBER RUN FROM J-BOX TO NEW CABINET
- NEW OUTDOOR CABINETS MOUNTED ON NEW CONCRETE PAD
- NEW 50kVA TRANSFORMER
- NEW ACCESS EASEMENT TO CONSIST OF 6" A.B.C. WITH COMPACTED SUBGRADE (MINIMUM 95%) AND TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING UP TO 85,000 POUNDS AND SHALL BE MAINTAINED AT ALL TIMES
- NEW NON-EXCLUSIVE TECH PARKING SPACE
- NEW WROUGHT IRON GATED. PAINTED TO MATCH CHURCH'S FENCE COLOR
- NEW GPS ANTENNA MOUNTED ON CABINET
- NEW LOCATION OF APPROVED FIRE DEPARTMENT KEY BOX (KNOX BOX)



NEW CMU WALL SPECIFICATIONS:

- MANUFACTURER:** CONCRETE PRODUCTS GROUP OR APPROVED EQUAL
- MATERIAL:** SPLIT-FACE MASONRY
- COLOR:** UMBER BROWN TO MATCH BUILDING WALL

NEW GATE SPECIFICATIONS:

- MANUFACTURER:** STEEL PRODUCTS GROUP OR APPROVED EQUAL
- MATERIAL:** STEEL
- COLOR:** GATE STEEL FRAMING & METAL COVER TO BE PAINTED UMBER BROWN TO MATCH NEW WALL

CLIENT:

verizon

126 WEST GEMINI DRIVE
TEMPE, ARIZONA 85293
PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL:

SD SiinoDesign

16747 EAST PARKVIEW AVE. SUITE #1
FOUNTAIN HILLS, ARIZONA 85268
PHONE: 480.268.9000
FAX: 480.284.5051
WWW.SINODESIGN.COM

ENGINEERING CONSULTANT SEAL:

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: JASON NGO, R56

CHECKED BY: CMS

SCHEDULE OF REVISIONS

NO	DATE	DESCRIPTION	BY
3	07/01/19	CITY COMMENTS	CMS
2	04/15/19	ZONING SUBMITTAL	CMS
1	11/28/18	RE-DESIGN	CMS
0	06/07/18	PRELIM. ZDs	CMS

SITE NAME:
PHO_SQUEEGEE

SITE ADDRESS:
6289 S. GREENFIELD RD.
GILBERT, AZ 85234
MARICOPA COUNTY

JURISDICTION APPROVAL BLOCK:

SHEET TITLE:

**ENLARGED
SITE PLAN**

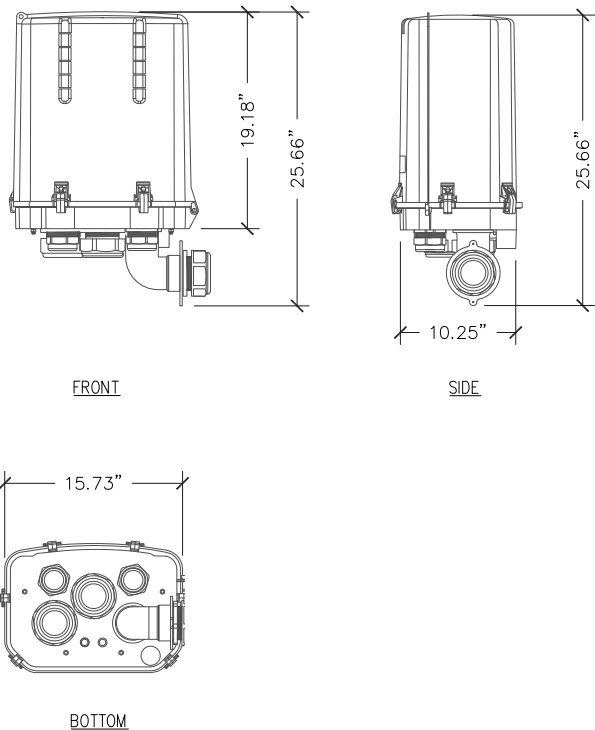
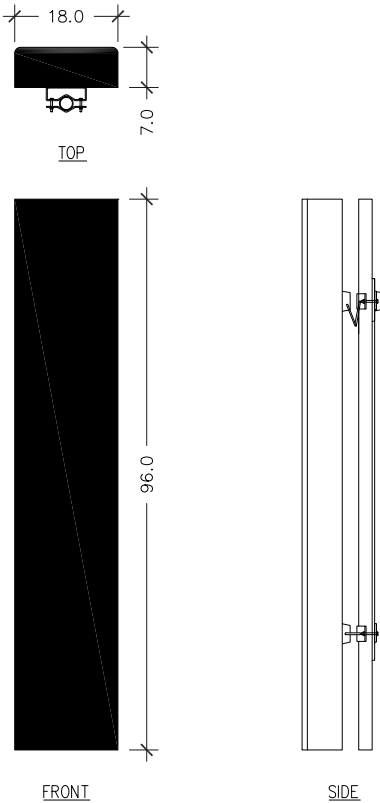
SHEET NUMBER:

A-2.1

NOTE:
CONTRACTOR TO VERIFY FOR FINAL RF DATA SHEETS WITH
CONSTRUCTION MANAGER PRIOR TO ANY CONSTRUCTION.

NEW ANTENNA & HYBRID DC/FIBER TABLE									
SECTOR	ANT. POSITION NO.	QTY.	RRU QTY.	DIP. QTY.	AZIMUTH	DOWNTILT	CL (FT)	# OF LINE	COAX TYPE
ALPHA	1	1	1	2	345°	TBD°	51	0	N/A
ALPHA	2	1	1	2	345°	TBD°	51	2	RSS 6-12 HYBRID DC/FIBER
BETA	1	1	1	2	105°	TBD°	51	0	N/A
BETA	2	1	1	2	105°	TBD°	51	0	N/A
GAMMA	1	1	1	2	245°	TBD°	51	0	N/A
GAMMA	2	1	1	2	245°	TBD°	51	0	N/A

- NOTES:
1. JUNCTION BOXES: ADD (1) JUNCTION BOX ON TOP & (1) JUNCTION BOX AT THE BOTTOM TOWER, OR WHATEVER IS NEEDED TO DEPLOY (12) RRUs.
2. DC/FIBER: ADD (2) RUNS OF RSS 6-12 HYBRID CABLE (6-12 DC/FIBER BUNDLE) TO CONNECT J-BOXES.
3. SEE DETAILS #5 & #6 FOR RRUs LOCATIONS AND SPECIFICATIONS.

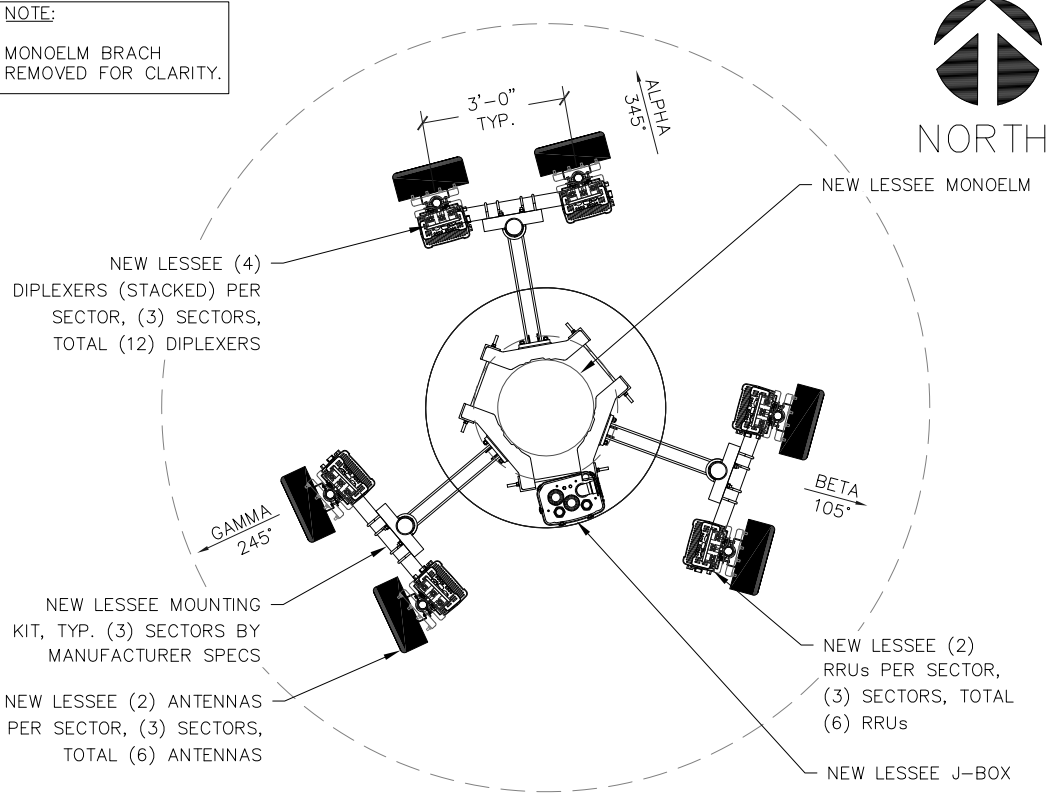


ANTENNA & COAXIAL CABLE TABLE

SCALE: N.T.S.

1

NOTE:
MONOELM BRACH
REMOVED FOR CLARITY.



ANTENNA CONFIGURATION

SCALE: N.T.S.

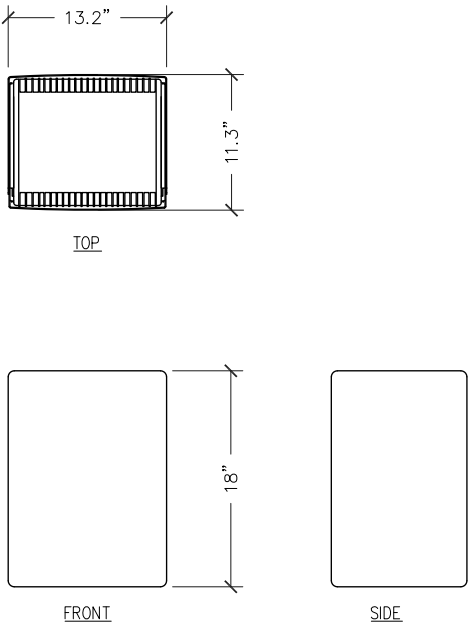
4

ANTENNA DETAIL

SCALE: N.T.S.

2

MANUFACTURER:
MODEL: RRU 8843
WIDTH: 13.2"
LENGTH: 18"
DEPTH: 11.3"
WEIGHT: 75 LBS
FREQUENCY: REFER TO RF DATA SHEET



RRU 8843 DETAIL

SCALE: N.T.S.

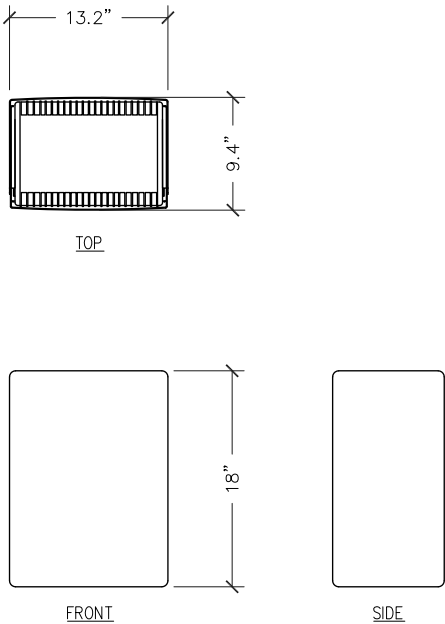
5

J-BOX DETAIL

SCALE: N.T.S.

3

MANUFACTURER:
MODEL: RRU 4449
WIDTH: 13.2"
LENGTH: 18"
DEPTH: 9.4"
WEIGHT: 70 LBS
FREQUENCY: REFER TO RF DATA SHEET



RRU 4449 DETAIL

SCALE: N.T.S.

6

CLIENT:

verizon

126 WEST GEMINI DRIVE
TEMPE, ARIZONA 85293
PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL:

SD SiinoDesign

16747 EAST PARKVIEW AVE. SUITE #1
FOUNTAIN HILLS, ARIZONA 85268
PHONE: 480.268.9000
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ENGINEERING CONSULTANT SEAL:

DRAWING APPROVALS (SIGNATURES)

SITE ACQUISITION/PROPERTY

CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: JASON NGO, R56

CHECKED BY: CMS

SCHEDULE OF REVISIONS

NO	DATE	DESCRIPTION	BY
3	07/01/19	CITY COMMENTS	CMS
2	04/15/19	ZONING SUBMITTAL	CMS
1	11/28/18	RE-DESIGN	CMS
0	06/07/18	PRELIM. ZDs	CMS

SITE NAME:
PHO_SQUEEGEE

SITE ADDRESS:
6289 S. GREENFIELD RD.
GILBERT, AZ 85234
MARICOPA COUNTY

JURISDICTION APPROVAL BLOCK:

SHEET TITLE:

ANTENNA
CONFIGURATION &
DETAILS

SHEET NUMBER:

A-3

ELEVATION KEYED NOTES: #

1. NEW 60' TALL MONOELM (OVERALL HEIGHT)
2. NEW (6) ANTENNAS, (6) RRU's, (12) DIPLEXERS, (1) J-BOX SEE ENLARGED CONFIGURATION SHEET A-3
3. NEW 8' TALL SPLIT FACE CMU WALL ENCLOSURE TO MATCH EXISTING CHURCH WALL
4. NEW GPS ANTENNA
5. NEW SINGLE BAY OUTDOOR CABINET MOUNTED ON NEW CONCRETE PAD (BEYOND)

NOTES:

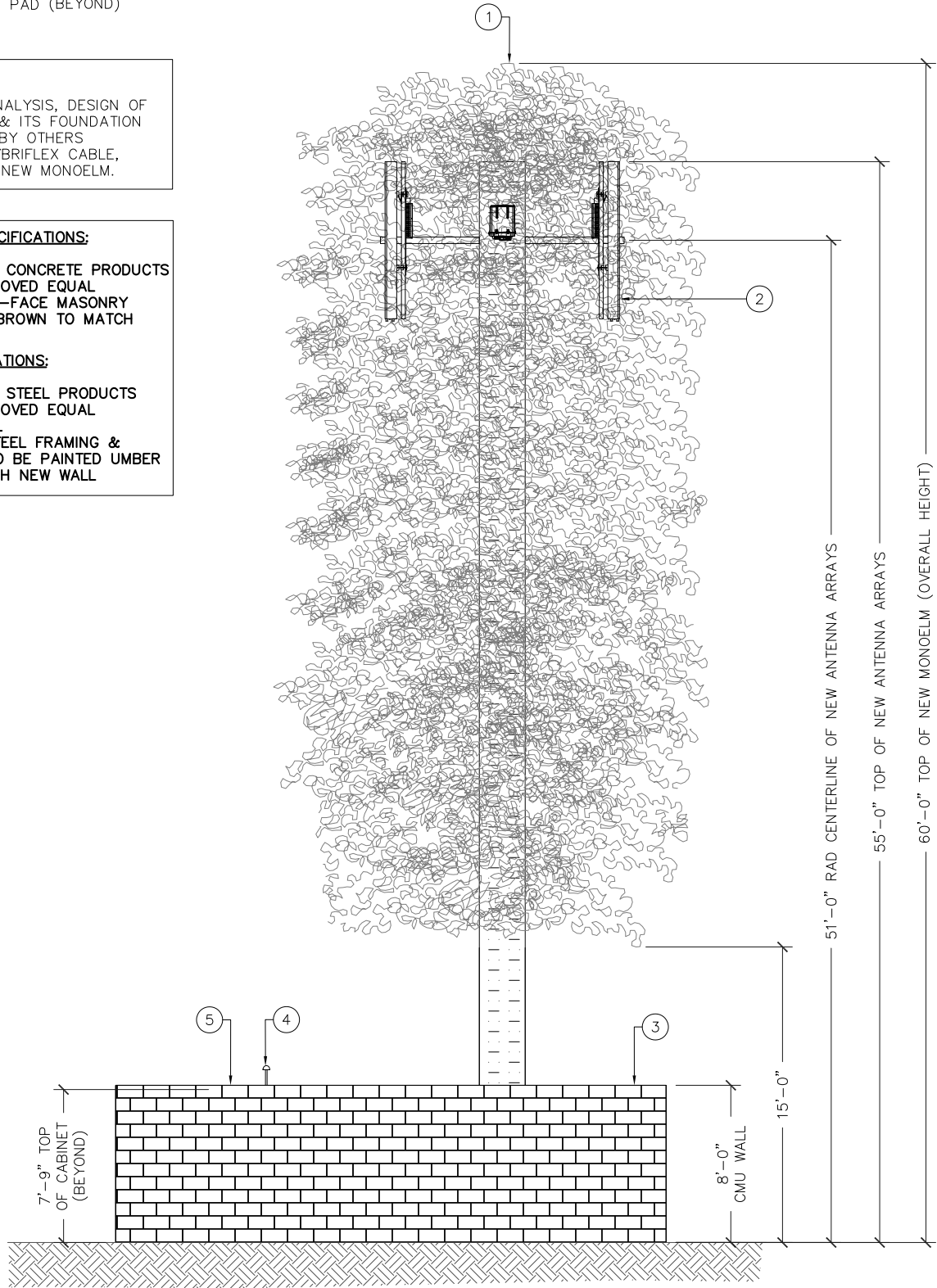
1. STRUCTURAL ANALYSIS, DESIGN OF NEW MONOELM & ITS FOUNDATION ARE PROVIDED BY OTHERS
2. NEW LESSEE HYBRIFLEX CABLE, ROUTED INSIDE NEW MONOELM.

NEW CMU WALL SPECIFICATIONS:

1. **MANUFACTURER:** CONCRETE PRODUCTS GROUP OR APPROVED EQUAL
2. **MATERIAL:** SPLIT-FACE MASONRY
3. **COLOR:** UMBER BROWN TO MATCH BUILDING WALL

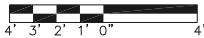
NEW GATE SPECIFICATIONS:

1. **MANUFACTURER:** STEEL PRODUCTS GROUP OR APPROVED EQUAL
2. **MATERIAL:** STEEL
3. **COLOR:** GATE STEEL FRAMING & METAL COVER TO BE PAINTED UMBER BROWN TO MATCH NEW WALL



SOUTH ELEVATION

22"x34" SCALE: 1/4" = 1'-0"
11"x17" SCALE: 1/8" = 1'-0"



ELEVATION KEYED NOTES: #

1. NEW 60' TALL MONOELM (OVERALL HEIGHT)
2. NEW (6) ANTENNAS, (6) RRU's, (12) DIPLEXERS, (1) J-BOX SEE ENLARGED CONFIGURATION SHEET A-3
3. NEW 8' TALL SPLIT FACE CMU WALL ENCLOSURE TO MATCH EXISTING CHURCH WALL
4. NEW GPS ANTENNA
5. NEW SINGLE BAY OUTDOOR CABINET MOUNTED ON NEW CONCRETE PAD (BEYOND)
6. NEW WROUGHT IRON GATES. COLOR TO MATCH CHURCH WROUGHT IRON FENCE

NOTES:

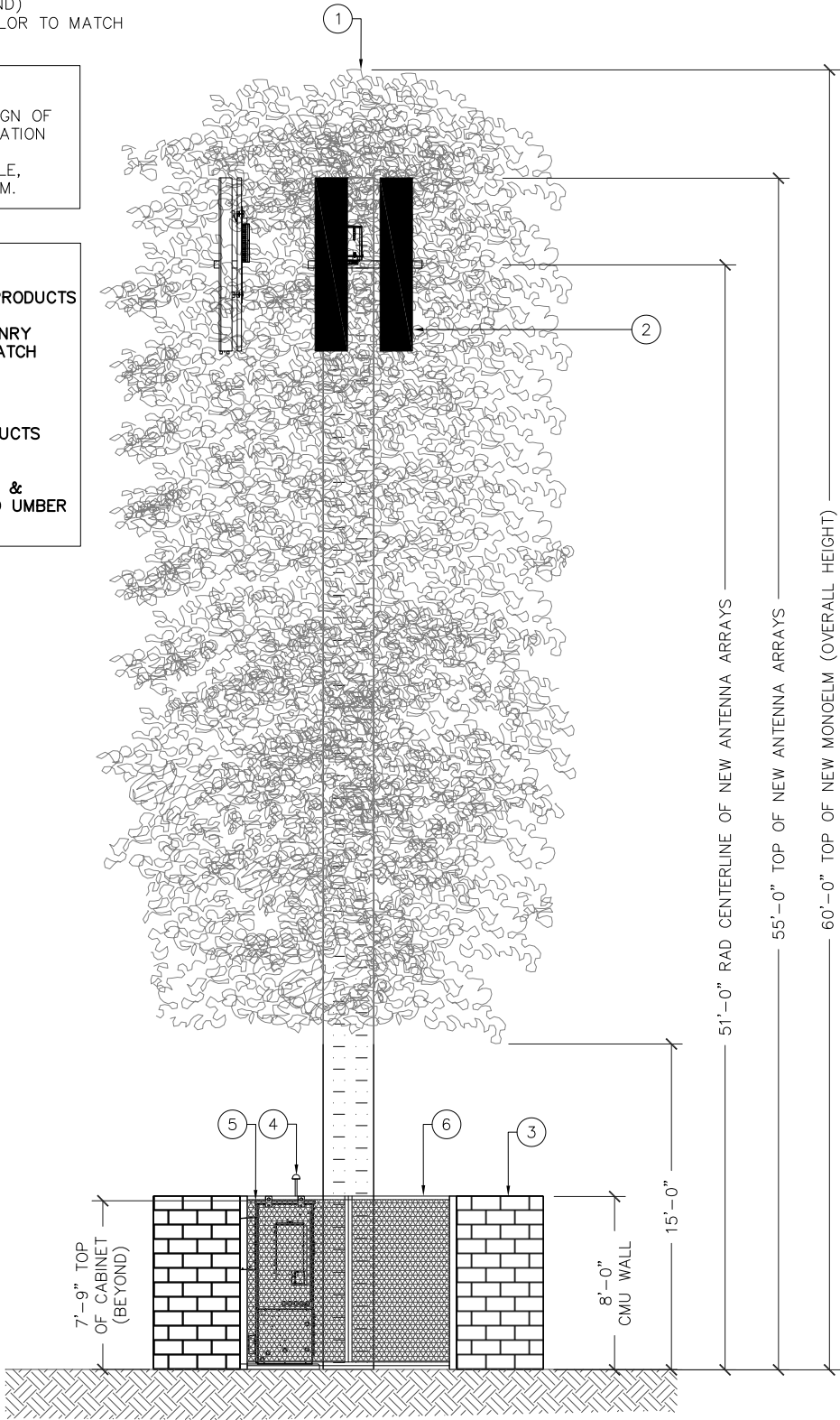
1. STRUCTURAL ANALYSIS, DESIGN OF NEW MONOELM & ITS FOUNDATION ARE PROVIDED BY OTHERS
2. NEW LESSEE HYBRIFLEX CABLE, ROUTED INSIDE NEW MONOELM.

NEW CMU WALL SPECIFICATIONS:

1. **MANUFACTURER:** CONCRETE PRODUCTS GROUP OR APPROVED EQUAL
2. **MATERIAL:** SPLIT-FACE MASONRY
3. **COLOR:** UMBER BROWN TO MATCH BUILDING WALL

NEW GATE SPECIFICATIONS:

1. **MANUFACTURER:** STEEL PRODUCTS GROUP OR APPROVED EQUAL
2. **MATERIAL:** STEEL
3. **COLOR:** GATE STEEL FRAMING & METAL COVER TO BE PAINTED UMBER BROWN TO MATCH NEW WALL



WEST ELEVATION

22"x34" SCALE: 1/4" = 1'-0"
11"x17" SCALE: 1/8" = 1'-0"



CLIENT:

verizon

126 WEST GEMINI DRIVE
TEMPE, ARIZONA 85293
PHONE: (480) 752-7238

DESIGN MANAGEMENT PROFESSIONAL:

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CONSTRUCTION MANAGER

VERIZON WIRELESS RF ENGINEER

LANDLORD APPROVAL

DRAWN BY: JASON NGO, R56

CHECKED BY: CMS

SCHEDULE OF REVISIONS

NO	DATE	DESCRIPTION	BY
3	07/01/19	CITY COMMENTS	CMS
2	04/15/19	ZONING SUBMITTAL	CMS
1	11/28/18	RE-DESIGN	CMS
0	06/07/18	PRELIM. ZDs	CMS

SITE NAME:

PHO_SQUEEGEE

SITE ADDRESS:
6289 S. GREENFIELD RD.
GILBERT, AZ 85234
MARICOPA COUNTY

JURISDICTION APPROVAL BLOCK:

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A-4

UP19-23 PHO Squeegee Attachment 5: Approved Site Plan for the Site (Church Site Plan) August 7, 2019

Standard Commercial and Industrial Site Plan Notes March 11, 2004

1. All utility lines less than 69 KV on or contiguous to the site shall be installed or relocated under ground.
2. All trash enclosures shall include fully opaque screening gates, finished and painted to match the enclosure. Screening gates shall not open into vehicular drive aisles. Trash enclosures are not required in industrial districts if located inside an enclosed yard which is screened by a perimeter wall at least 6 feet in height.

3. All outdoor storage areas for storage of materials and equipment shall be fully screened from view by a 6' solid masonry wall. Industrial storage screen walls shall be finished where they are exposed to public view from streets or adjacent non-industrial uses.
4. S.E.S. panels and any other above ground utility cabinet shall be fully screened from view from streets or from areas accessible to customers and the general public. Screening may be accomplished by any one of the following methods:
 - a. Fully recessing the cabinet into the building and enclosing it by a solid door or doors separate from the cabinet.
 - b. Screening with a decorative masonry wall of the same height as the panel. The screen wall may be L-shaped, U-shaped or a straight wall parallel to the cabinet, depending on the location of the cabinet.
 - c. An alternative screening method approved by the Planning Department prior to issuance of any permits.

5. The location of all electrical utility equipment shall be identified on the construction plans.
6. Roof-mounted mechanical equipment shall be fully screened by either one of the following methods:
 - a. The parapet wall of the building shall equal or exceed the height of the mechanical units, or
 - b. By locating the mechanical equipment behind the roof planes in the case of a mansard, hip or other than flat roof.

7. Roof mounted mechanical equipment enclosures or equipment screen walls shall not project above the roof parapet. To the extent permitted by law, satellite dishes shall be fully screened by a parapet wall.
8. Ground mounted mechanical equipment shall be fully screened from view (from streets and surrounding commercial uses) by a combination of decorative walls and an evergreen vegetative hedge equal to or exceeding the height of the equipment.

9. Pneumatic tubes, whether metal or plastic, shall be either:
 - a. Enclosed in plasters, columns or other architectural features of the canopy or building, or
 - b. Routed under ground.

10. All backflow prevention devices 2" or larger shall be screened with landscape located within a 6' radius of the device. All backflow preventers less than 2" shall be placed in a wire cage painted to match the primary building color.
11. All freestanding light poles shall:
 - a. Be located within landscaped areas or planter islands.
 - b. Have concrete bases painted to match the primary building color or finished to match parking screen walls. Concrete bases for light poles shall not exceed a height of 30' from adjacent grade.
 - c. Be located to avoid conflict with trees.

12. Site lighting shall comply with the light and glare criteria set forth in Section 11.22.A of the U.L.C. including a maximum freestanding light fixture height of 25'. The maximum height of a building mounted light fixture is 14'. The maximum height of a freestanding light fixture located within 100' of a residential zoning district or property designated for residential development in the General Plan is 14'.
13. Landscaped areas adjacent to public right-of-way shall be mounded and naturally contoured. No more than 50% of the required (light-of-way and landscaping tracts) landscaping fronting adjacent streets may be used for retention. Retention area side slopes shall be varied, and no slope shall exceed a 4:1 maximum.

14. Commercial building downspouts shall be internalized. Industrial buildings may use exposed downspouts if articulated with the architecture of the building and built with a durable material such as steel.
15. Commercial development vehicular access points and pedestrian access ways shall include special paving treatment such as integral colored stamped concrete, biomatrix, or similar alternative. Location and material shall be reviewed and approved by the Planning Department prior to the issuance of a building permit.

16. Customer, employee and visitor parking shall be screened from street view by low masonry walls. The parking screen walls shall be finished on both sides using the same materials and colors, and a design to complement that of the main building.
17. All exterior metal shall be finished or painted to match the approved project colors.
18. Existing on-site plant material damaged during construction shall be replaced with comparable species and size.

PROJECT DATA

PROJECT NAME: LIGHT OF CHRIST CHURCH
PROJECT ADDRESS: N.E.C. SOUTH GREENFIELD & CHANDLER HEIGHTS RD
PROPOSED USE: CHURCH
PROJECT OWNER: FIRST UNITED FUNDING LLC
6289 SOUTH GREENFIELD RD, GILBERT AZ.
ARCHITECT: GILLIAM ARCHITECTURE
CONTACT: RANDY GILLIAM
480.236.1228
rgilliam@gilliamarchitecture.com

SITE DATA

APN: 304-77-007G
LEGAL: Section 12.22 Township/Block 25 Range/Tract 6E
T14N PT 5/4 SEC 22 1/4 W OF RWCD CANAL & DAF COM
SITE GROSS AREA: 6.5 AC
SITE NET AREA: 5.96 AC

BUILDING: ASSEMBLY: 6,134 SF
OTHER: 9,655 SF
LEGAL: 6,134/100 = 61 SPACES
ASSEMBLY: 9,655/200 = 48 SPACES
TOTAL REQD: 109 SPACES
SPACES PROVIDED: 112 SPACES
5 ADA PARKING SPACES

FUTURE PARKING: CHURCH USE / ASSEMBLY 2,100 / 100-221
CHURCH USE / CLASSROOMS 7,000 / 200 = 35
REQUIRED (ESTIMATED BASE ON TYP. CHURCH USE = 56
FUTURE PROVIDED 60+.

BIKE PARKING: REQD 1/10 PARKING SPACES
PROVIDED: 11 SPACES
LANDSCAPE PROVIDED: REFER TO LANDSCAPE PLAN

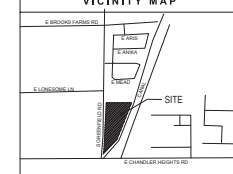
SITE PLAN KEYED NOTES:

1. LANDSCAPED RETENTION AREA
2. 6" CONCRETE CURB
3. CONCRETE SIDEWALK, LIGHT BROOM FINISH
4. 6" HIGH CMU TRASH ENCLOSURE PER T.O.G. STANDARD DETAIL #80
5. ADA PEDESTRIAN RAMP
6. CONCRETE PAVERS
7. ADA PARKING SPACE
8. FABRIC CANOPY
9. ASPHALT PARKING LOT
10. PARKING LOT SITE LIGHT (14H WITHIN 100' OF RESIDENTIAL ZONING AS INDICATED)
11. BIKE RACK (11 BIKES)
12. 6" HIGH MASONRY SCREEN WALL ON ADJACENT PROPERTY (CONTINUOUS)
13. LANDSCAPE PARKING ISLAND MIN. 6' WIDE
14. 5' HIGH CMU SCREEN WALL TO MATCH BUILDING.
15. STABILIZED DIG PATH / TRAIL MATCH ADJACENT PROPERTY DEVELOPMENT STANDARDS.
16. CONCRETE APRON
17. EXISTING DRYWELL SEE CIVIL DRAWINGS
18. EXISTING FIRE HYDRANT
19. EXISTING 12" WATER LINE
20. EXISTING 16" WATER LINE
21. EXISTING CABLE TV
22. EXISTING STREET LIGHT
23. FUTURE PARKING LOT
24. MONUMENT SIGN, SEE DETAIL SHEET A1.1
25. EMERGENCY VEHICLE TURNING RADIUS 35' & 55'
26. BERM / LANDSCAPE PARKING SCREEN
27. FIRE DEPARTMENT CONNECTION

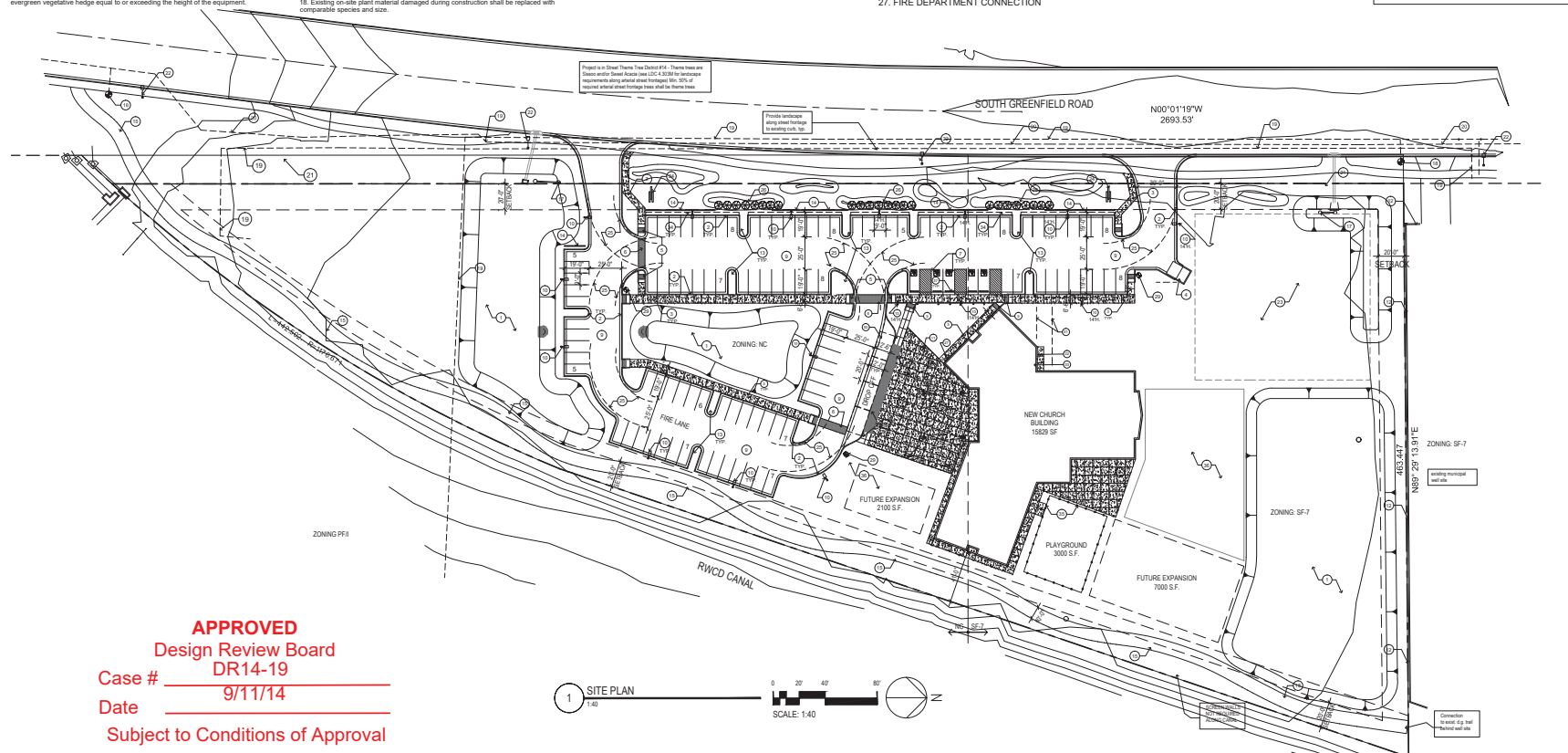
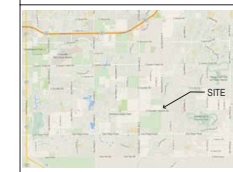
SITE PLAN KEYED CONTINUED

28. LANDSCAPED RETENTION AREA
29. NEW FIRE HYDRANT, SEE CIVIL DRAWINGS
30. PASSENGER LOADING AREAS 12'X20', TYP. OF 4
31. LINE INDICATING 12' CLEAR PATH TO SES PANEL
32. SES ELECTRICAL PANEL
33. FIRE RISER ROOM
34. LINE INDICATING 30' PARKING OVERHANG, TYP.
35. WROUGHT IRON PLAYGROUND / FENCE
36. TURF AREA, SEE LANDSCAPE PLAN
37. CONCRETE WHEEL STOPS, TYP. OF 7
38. LIGHT BOLLARD

VICINITY MAP



METRO MAP



APPROVED
Design Review Board
Case # DR14-19
Date 9/11/14
Subject to Conditions of Approval

DR14-19
Attachment 3: Site Plan
September 11, 2014

GILLIAM
ARCHITECTURE, LLC
ARCHITECTURE
PLANNING
INTERIORS
ILLUSTRATION

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T. 480.236.1228
F. 480.460.4150
www.gilliamarchitecture.com

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LIGHT OF
CHRIST
LUTHERAN
CHURCH

6289 SOUTH
GREENFIELD ROAD,
GILBERT, ARIZONA

DRB RESUBMITTAL: 7/14/14
DRB SUBMITTAL: 5/10/14

GA Project # GA14003.0

SITE PLAN

A1.0
Sheet Number



**UP19-23 PHO Squeegee
Attachment 6: Residential Proximity
August 7, 2019**

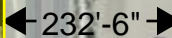


Residential

344'-0"



232'-6"



Proposed
Tower
Location

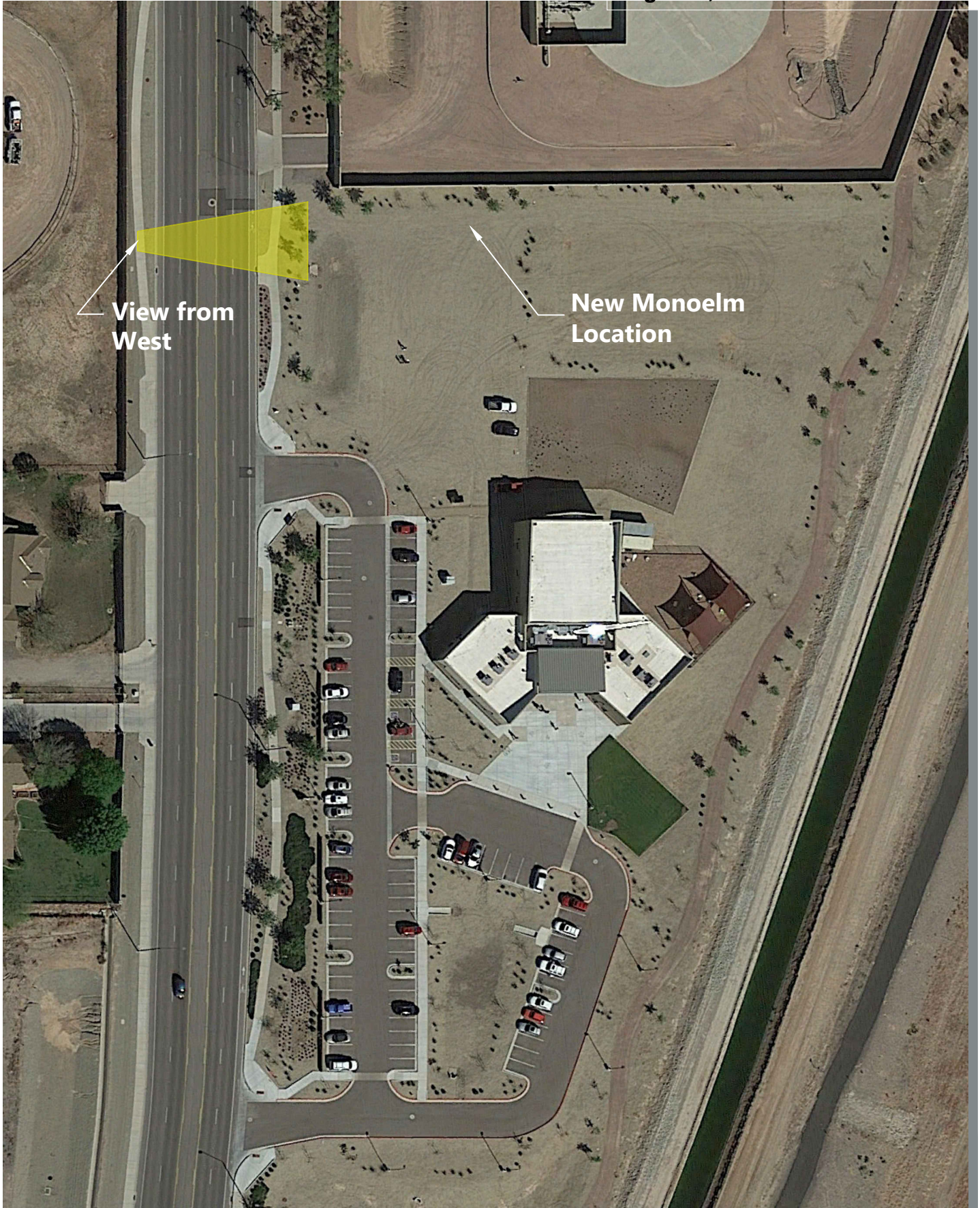
Greenfield Rd.



Residential



Residential



Simulation By: Christopher M. Siino, MBA, MSTL, PMP, MCP - csiino@siinodesign.com

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6289 S. GREENFIELD RD. GILBERT, AZ 85234





View from West (Before)

Simulation By: Christopher M. Siino, MBA, MSTL, PMP, MCP - csiino@siinodesign.com



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View from West (After)

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Simulation By: Christopher M. Siino, MBA, MSTL, PMP, MCP - csiino@siinodesign.com

PHO_SQUEEGEE

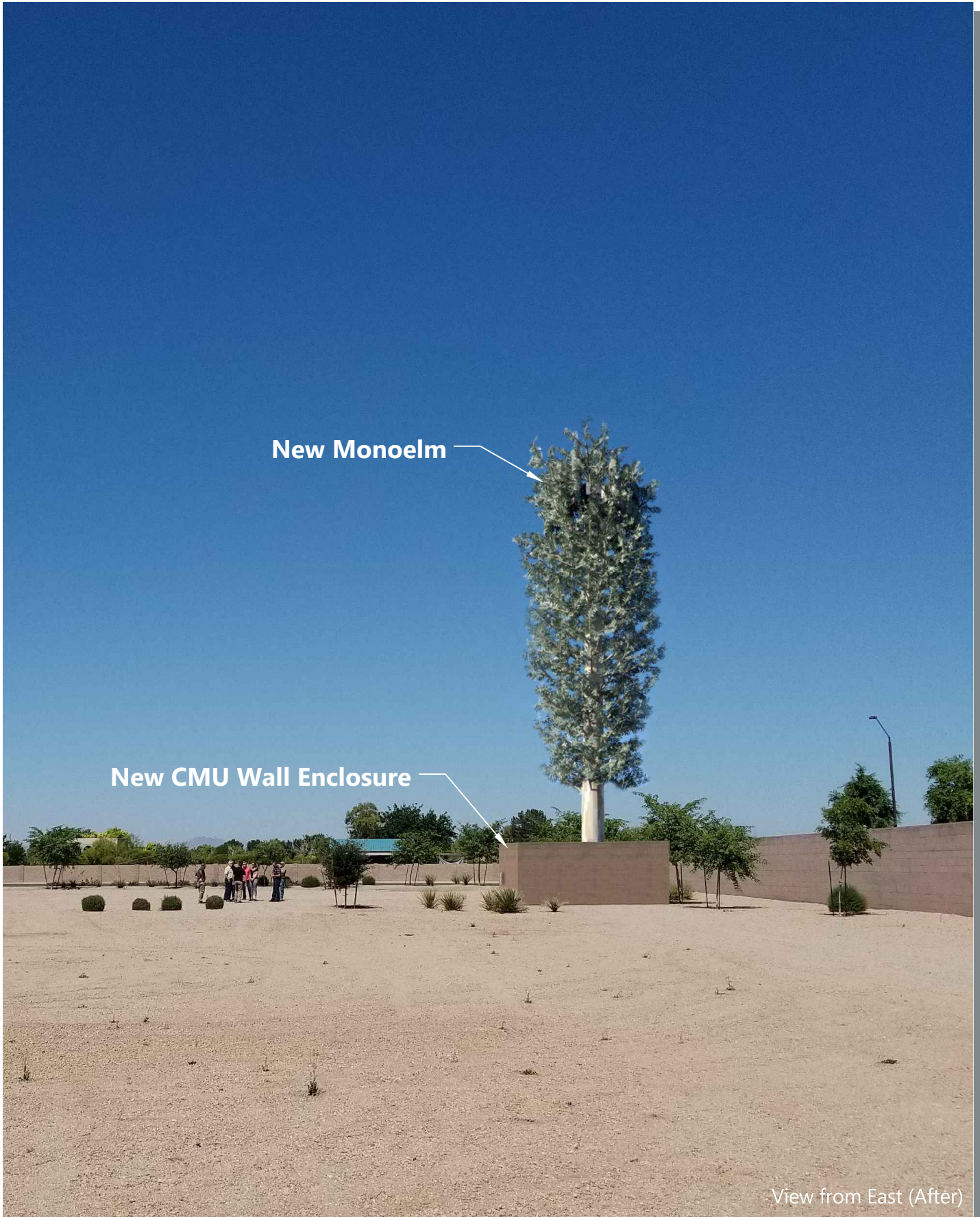
6289 S. GREENFIELD RD. GILBERT, AZ 85234





View from East (Before)

Simulation By: Christopher M. Siino, MBA, MSTL, PMP, MCP - csiino@siinodesign.com



View from East (After)

Simulation By: Christopher M. Siino, MBA, MSTL, PMP, MCP - csiino@siinodesign.com



Simulation By: Christopher M. Siino, MBA, MSTL, PMP, MCP - csiino@siinodesign.com

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View from South (Before)

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6289 S. GREENFIELD RD. GILBERT, AZ 85234





New Monoelm

New CMU Wall Enclosure

View from South (After)

Simulation By: Christopher M. Siino, MBA, MSTL, PMP, MCP - csiino@siinodesign.com

verizon

SD SiinoDesign

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